

1ST READING 5-8-07
2ND READING 5-15-07
INDEX NO. _____

2007-049
THP-Investors, Inc.

ORDINANCE NO. 11970

AN ORDINANCE TO AMEND ORDINANCE NO. 6958, AS AMENDED, KNOWN AS THE ZONING ORDINANCE, SO AS TO REZONE TRACTS OF LAND LOCATED AT 3928 AND 3952 WEBB ROAD, MORE PARTICULARLY DESCRIBED HEREIN, FROM R-1 RESIDENTIAL ZONE AND R-2 RESIDENTIAL ZONE TO R-3 RESIDENTIAL ZONE, SUBJECT TO CERTAIN CONDITIONS.

SECTION 1. BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHATTANOOGA, TENNESSEE, That Ordinance No. 6958, as amended, known as the Zoning Ordinance, be and the same hereby is amended so as to rezone:

Two unplatted tracts of land located at 3928 and 3952 Webb Road being described in Deed Book 4800, Page 944, and Deed Book 4885, Page 589; ROHC. Tax Map 129B-C-007 and 008.

from R-1 Residential Zone and R-2 Residential Zone to R-3 Residential Zone.

SECTION 2. BE IT FURTHER ORDAINED, That this rezoning shall be subject to:

1. 11.8 dwelling units/acre maximum;
2. Traffic improvements to include straightening the curve on Oakwood and widening the paved surface to normal two lane width per city specifications as determined by City of Chattanooga Traffic Engineer;
3. 3-story height maximum;
4. Install sidewalk and curb along the full length of the property fronting on Oakwood Drive and Webb Road;
5. Provide Type A screening (30 feet) as specified in the Zoning Ordinance along the full length of property fronting on Webb Road and Oakwood Drive and provide Type B

screening (20 feet) as specified in the Zoning Ordinance along the full length of property on the east side;

6. Reinstate a 75 foot buffer zone on the north side per the original restrictions recorded in Book 2175, Pages 526-528 of the Registrar's Office of Hamilton County (ROHC) and extend the buffer zone westward all the way to Webb Road. Extend the existing 6 foot chain link fence along the north side, all the way to Webb Road;

7. Repair and clean vegetation from the existing fence as originally specified in Book 2175, Pages 526-528;

8. Install pumps in any retention ponds to aerate standing water or provide drains to assure that no water will stand in any retention or detention ponds;

9. Locked gated-access for emergency vehicles only onto Webb Road;

10. Any conditions or issues being approved by stormwater and sewer review; and

11. Appropriate Drainage Impact Study to be provided by the developer and reviewed by the City Engineer.

SECTION 3. BE IT FURTHER ORDAINED, That this Ordinance shall take effect two (2) weeks from and after its passage.

PASSED on Second and Final Reading

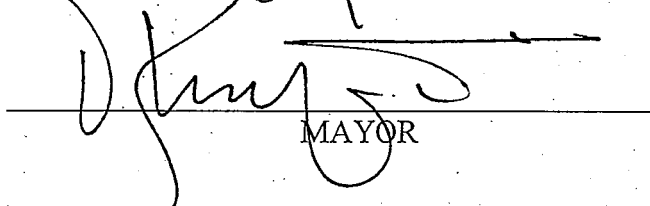
May 15, 2007.



CHAIRPERSON

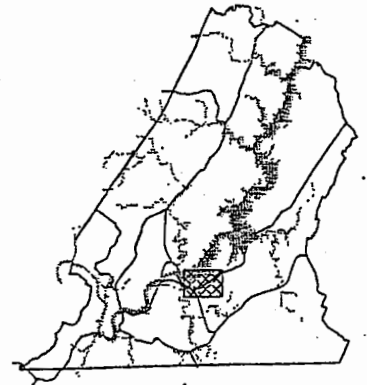
APPROVED: DISAPPROVED:

DATE: May 21, 2007



MAYOR

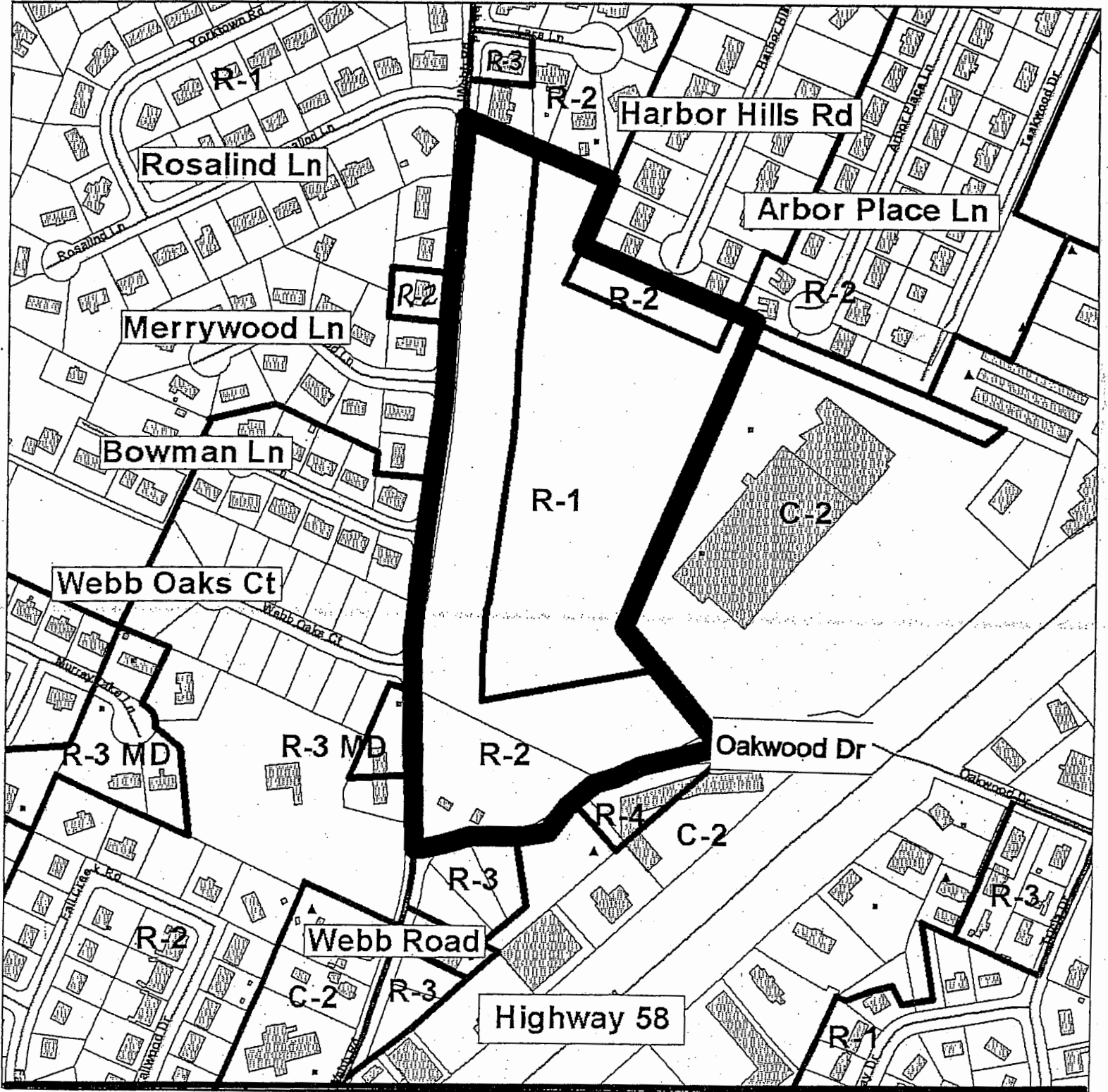
CHATTANOOGA - HAMILTON COUNTY REGIONAL
PLANNING AGENCY



CHATTANOOGA
CASE NO: 2007-0049
PC MEETING DATE: 4/9/2007
FROM: R-1 & R-2
TO: R-3



1 in. = 330.0 feet



PLANNING COMMISSION RECOMMENDATION FOR CASE NO. 2007-049: Approve, subject to certain conditions as listed in the Planning Commission Resolution.

2007-049

RECEIVED

APR 9 2007

Chattanooga Hamilton County
Regional Planning Agency
Development Services

PROJECT DEVELOPER:
THE INVESTORS, INC. SUITE 2000
MEMPHIS, TENNESSEE 38156
STEVE BISHOP
(901) 759-1219
881880NCCZ1NET

OWNER:
JAMES D. LEE
4418 WAGONDA ROAD
HARRISON, TENNESSEE 37341
(423) 661-0216

CURRENT ZONING:
R1 & R2

PARKING SPACES:
PARKING SPACES REQUIRED 386
PARKING SPACES PROVIDED 561
40 TRUCK SPACES PROVIDED 90
157 2BR 1 3BR 1 TR 1 3SE
TOTAL 586

LANDSCAPE BUFFERS:
FRONT STREET SCREENING
SIDE STREET / 30 LINEAR FT.
SPACED AT 10' ON DOT
REAR STREET SCREENING
SIDE STREET / 30 LINEAR FT.
SPACED AT 10' ON DOT
SCREENING TYPE C
10' WIDE EVERGREEN TREES SPACED
A MAXIMUM OF 10' O.C. OR 2 STAGGERED
ROWS SPACED A MAXIMUM OF 1' APART

BUILDING SCHEDULE

BLDG NO.	NO. OF FLOORS	UNIT TYPES / BLDG			
		1BR	2BR	3BR	B
A	2		16		
B	2		0		0
C1	2/3	10	10		
C2	2/3	10	10		
C3	2/3	10	10		
C4	2/3	10	10		
D1	2/3	10	20		
D2	2/3	20	20		
D3	2/3	20	20		
E1	2/3	10	10		10
E2	2/3	10	10		10
E3	2/3	10	10		10
TOTAL		40	154	58	232

232 UNITS / 19.6 ACRES = 11.8 UNITS PER ACRE

BERNARD L. WEINSTEIN
& ASSOCIATES - ARCHITECTS
NASHVILLE, TENNESSEE

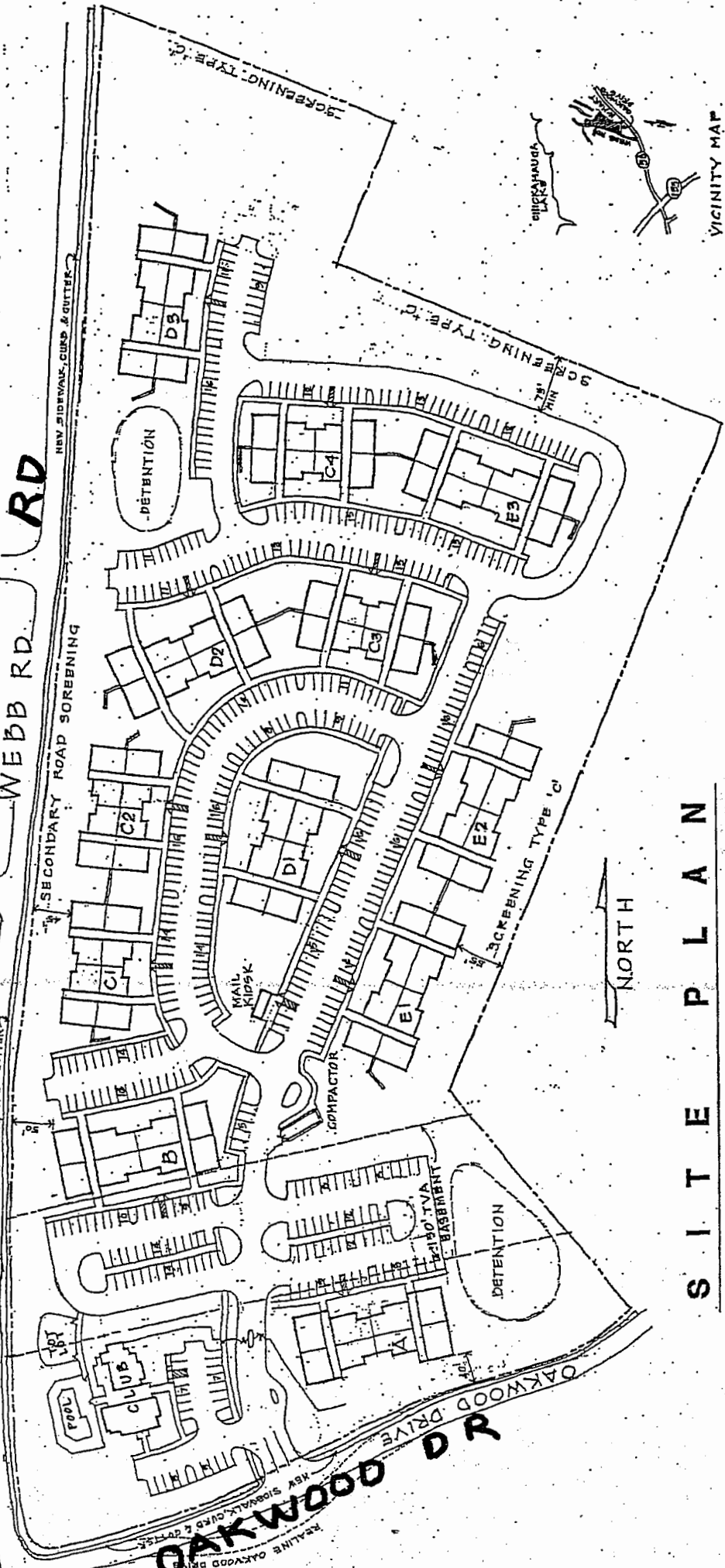
WEBB

NEW SIDEWALK, CURB & GUTTER

WEBB RD

NEW SECONDARY ROAD SCREENING

NEW SIDEWALK, CURB & GUTTER



S I T E P L A N

1" = 100'-0"

VICINITY MAP